

**CODE COMPLIANCE REVIEW:**  
 CRITERIA REFERENCES:  
 2022 Building Codes Adoption  
 CALIFORNIA BUILDING CODE  
 CALIFORNIA EXISTING BUILDING CODE  
 CALIFORNIA FIRE CODE  
 CALIFORNIA GREEN BUILDING CODE  
 CALIFORNIA HISTORICAL BUILDING CODE  
 CALIFORNIA RESIDENTIAL CODE  
 CALIFORNIA ELECTRICAL CODE  
 CALIFORNIA MECHANICAL CODE  
 CALIFORNIA PLUMBING CODE

**BAKERSFIELD MUNICIPAL CODE:** Since 1818 Title 15 BUILDINGS AND CONSTRUCTION; MUNICIPAL CODE, CITY OF BAKERSFIELD, CALIFORNIA INCLUDED ARE ALL LOCAL AMENDMENTS ADOPTED BY THE CITY.

**Title 17 ZONING:** MUNICIPAL CODE, CITY OF BAKERSFIELD, CALIFORNIA

**GENERAL:**  
 Address: 2001 CHESTER AVE  
 Parcel: 00545206

Address: 2011 CHESTER AVE  
 Parcel: 00545205

**ZONING:**  
**LEGAL DESCRIPTION:**  
 2001 CHESTER AVE  
 Recorded Tract: 1898 incorporation-01  
 Tract Name: 1898 incorporation-01  
 Land Use: MUC  
 Description 1: MIXED USE COMMERCIAL

2011 CHESTER AVE  
 Recorded Tract: 1898 incorporation-01  
 Tract Name: 1898 incorporation-01  
 Land Use: MUC  
 Description 1: MIXED USE COMMERCIAL

**17.25.060 Building height.**  
 There shall be no maximum building height in a C-B zone. **PROPOSED HEIGHT IS 73'-4"**

**17.25.070 Front, side and rear yards.**  
 There shall be no minimum front, side or rear yard in a C-B zone; however, where a lot abuts any R, E, MH zone, or PUD project of a single-family nature, there shall be a minimum setback from any side or rear property line of twenty feet. **PROPERTY WITHIN THE LIMITS OF C-B ZONING AND DOES NOT ABUT ANY R, E, MH, OR PUD**

**17.25.100 Minimum lot area.**  
 There shall be no lot minimum requirement in a C-B zone.

**PARKING REQUIREMENTS AND STANDARDS:**  
**17.58.050 General standards as to location and arrangement of parking.** Within the "central district" and properties zoned C-B and C-C, any off-street freight loading area located within fifty feet of any residential zoned or developed property shall be completely enclosed within a building if such freight loading is used between the hours of 10:00 pm and 7:00 am. **PROPERTY WITHIN THE LIMITS OF C-B ZONING**

**17.58.055 Transit credit.** Except for the "central district" and properties zoned C-B and C-C, which already receive a fifty percent reduction under Section 17.58.120, required parking may be reduced by ten percent if there exists a transit facility as defined in Section 17.04.624 within one thousand feet of the front or main customer door of the building that is linked with an improved and paved pedestrian way. **PROPERTY WITHIN C-B ZONING AND 1000 FEET OF A TRANSIT CENTER**

**Multiple-family dwelling and condominium (efficiency, studio and 1-bedroom units).** 1 space per unit, plus an additional 10% for guest parking on parcels containing 5 or more units.

**Office park or complex.** 1 space per 200 square feet of gross floor area up to and including 15,000 square feet, plus an additional 1 space per 250 square feet of gross floor area in excess of 15,000 square feet

**Neighborhood and regional shopping center.** 1 space per 200 square feet of gross floor area up to and including 35,000 square feet, plus an additional 1 space per 250 square feet of gross floor area in excess of 35,000 square feet

**PARKING CALCULATIONS REQUIREMENTS**  
 SUPPORTIVE HOUSING APARTMENTS 150 UNITS x 10% = 165 SPACES REQUIRED

OFFICES 15000/200 = 75 SPACES REQUIRED  
 226/250 = .904 = 1 EXTRA SPACE REQUIRED  
 TOTAL REQUIRED 76 SPACES REQUIRED

RETAIL 15226/200 = 76.13 SPACES REQUIRED

TOTAL SITE PARKING REQUIRED = 318  
 318\*50% REDUCTION = 159  
 159\*10% TRANSIT CREDIT = 15.9 (16)  
 TOTAL PARKING REQUIRED = 143  
 TOTAL PARKING PROVIDED = 35

NEW HANDICAP SPACES REQUIRED = 2

EXISTING ON-STREET PARKING = 7  
 EXISTING HANDICAP PARKING = 1

**BUILDING:**  
 AREA CALCULATIONS  
 BASEMENT PARKING GARAGE 15,226 SF  
 PARKING GARAGE RAMP 610 SF  
 RETAIL 1st FLOOR 14,616 SF  
 RETAIL 1st FLOOR TRASH COMPACTOR 500 SF  
 MULTI-FAMILY SUPPORTIVE HOUSING APARTMENTS (APPROXIMATELY 150 UNITS)  
 2nd - 6th FLOORS 15,226 SF/PER  
 BALCONIES 2nd - 6th FLOORS 2,470 SF/PER  
 TOTAL PER FLOORS 17,696 SF  
 TOTAL COMBINED 88,480 SF  
 7th FLOOR OFFICE SPACE 15,226 SF  
 7th FLOOR BALCONY 3,293 SF  
 TOTAL FLOOR COMBINED 18,519 SF  
 TOTAL BUILDING AREA 67,167 SF

PROPOSED NEW BUILDING TO BE FULLY FIRE SPRINKLERED USING NFPA 13 SYSTEM REQUIREMENTS.

OCCUPANCY LOAD  
 BASEMENT PARKING GARAGE (Storage S-2) 15,226/200=76.13  
 RETAIL 1st FLOOR (Mercantile) 14,616/60=243.6  
 MULTI-FAMILY SUPPORTIVE HOUSING APARTMENTS (RESIDENTIAL R-2) 15,226/200=76.13  
 7th FLOOR OFFICE SPACE (Business) 15,226/150=101.5  
 TOTAL LOAD 497.36

- EXISTING SITE KEYED NOTES:**
- E1 EXISTING TREE
  - E2 EXISTING FIRE HYDRANT
  - E3 EXISTING TREE AND LANDSCAPE PLANTER
  - E4 EXISTING LANDSCAPE PLANTER
  - E5 EXISTING TREE AND LANDSCAPE IN CENTER MEDIUM
  - E6 EXISTING HANDICAP RAMP
  - E7 EXISTING ON-STREET PARKING AND PAINTED STRIPS
  - E8 EXISTING CONCRETE CURB
  - E9 EXISTING CONCRETE APRON
  - E10 EXISTING CONCRETE PUBLIC SIDEWALK
  - E11 EXISTING CONCRETE
  - E12 APPROXIMATE LOCATION OF EXISTING 6" SANITARY LINE
  - E13 APPROXIMATE LOCATION OF EXISTING 8" SANITARY LINE
  - E14 APPROXIMATE LOCATION OF EXISTING MANHOLE
  - E15 APPROXIMATE LOCATION OF EXISTING WATER LINE
  - E16 EXISTING HANDICAP PARKING TO REMAIN
  - E17 APPROXIMATE LOCATION OF EXISTING WATER METER
  - E18 EXISTING FIRE HYDRANT AT THE SOUTHEAST CORNER OF 20th STREET AND CHESTER AVE (not shown)
  - E19 APPROXIMATE LOCATION OF EXISTING GAS METER. RELOCATION MAYBE NEEDED.
  - E20 APPROXIMATE LOCATION OF EXISTING GAS LINE
  - E21 APPROXIMATE LOCATION OF EXISTING STORM WATER DRAIN LINE
- PROPOSED NEW SITE KEYED NOTES:**
- N1 NEW STREET TREE WITH A 4 FOOT x 4 FOOT TREE WELL
  - N2 PROPOSED NEW RECONFIGURED PAINTED STRIPING
  - N3 PROPOSED NEW CONCRETE DRIVEWAY AND SIDEWALK
  - N4 PROPOSED LOCATION OF 500 SF TRASH COMPACTOR
  - N5 PROPOSED NEW 7 STORY BUILDING WITH BASEMENT GARAGE
- GENERAL NOTES:**
- G1 SITE STORM DRAINAGE WILL BE IN ACCORDANCE WITH THE STORM DRAINAGE PATTERN USED ON THE SITE IN ITS PREVIOUSLY FULLY DEVELOPED CONDITION. TO THE EXTENT POSSIBLE, SITE STORM DRAINAGE PATTERNS WILL REMAIN UNCHANGED, AND STORM WATER RUNOFF WILL BE DIRECTED TO AVAILABLE SURFACE AND SUBSURFACE DISPOSAL POINTS. ALL GRADING AND DRAINAGE PATTERN USED ON THE SITE IN ITS PREVIOUSLY FULLY DEVELOPED CONDITION.
  - G2 PROVIDING A NEW CURB CUT AND SIDEWALK FOR THE ENTRANCE OF THE PARKING GARAGE. ALL EXISTING TRAFFIC CONTROL LIGHTING, SIGNALS AND STREET LIGHTING TO REMAIN.
  - G3 SEWER AND WATER CONNECTIONS WILL BE DONE USING THE EXISTING CONNECTIONS UNLESS THOSE CONNECTIONS ARE NOT OF SUFFICIENT SIZE TO NEED THEIR RESPECTED LOADS.
  - G4 A 500 SF TRASH COMPACTOR WILL BE WITHIN THE BUILDING LOCATED ON THE NORTHEAST CORNER OF BUILDING ALONG 20th PLACE.
  - G5 CENTRAL DISTRICT (C-B AND C-C ZONE DISTRICTS) THIS REDUCTION MAY INCLUDE THE PLANTING OF STREET TREES ONLY TO ALLOW ADEQUATE PEDESTRIAN ACCESS CONSISTENT WITH ADJACENT DEVELOPMENT. PROVIDING 3 NEW STREET TREES ALONG 20th STREET AT A RATIO OF ONE TREE PER TWENTY LINEAL FEET. ALL EXISTING LANDSCAPE AND EXISTING TREES TO REMAIN.

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- residential ■ commercial
- educational ■ renovations
- industrial ■ remodels



Revisions		
No	Date	Description

**Proposed New Mixed Use Building with retail, supportive housing and offices: "The Soleil" SITE DEVELOPMENT PLAN**

2001 - 2011 Chester Ave  
 Bakersfield, CA 93301

Project Number: 00.00.00

NOT FOR REGULATORY APPROVAL, PERMITTING or CONSTRUCTION

**PRELIM-SITE**



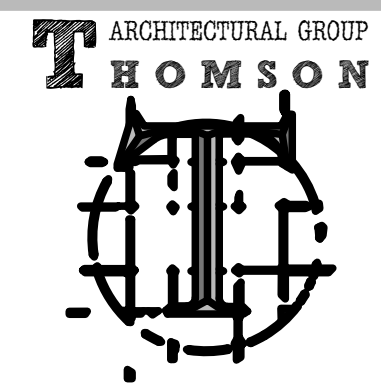


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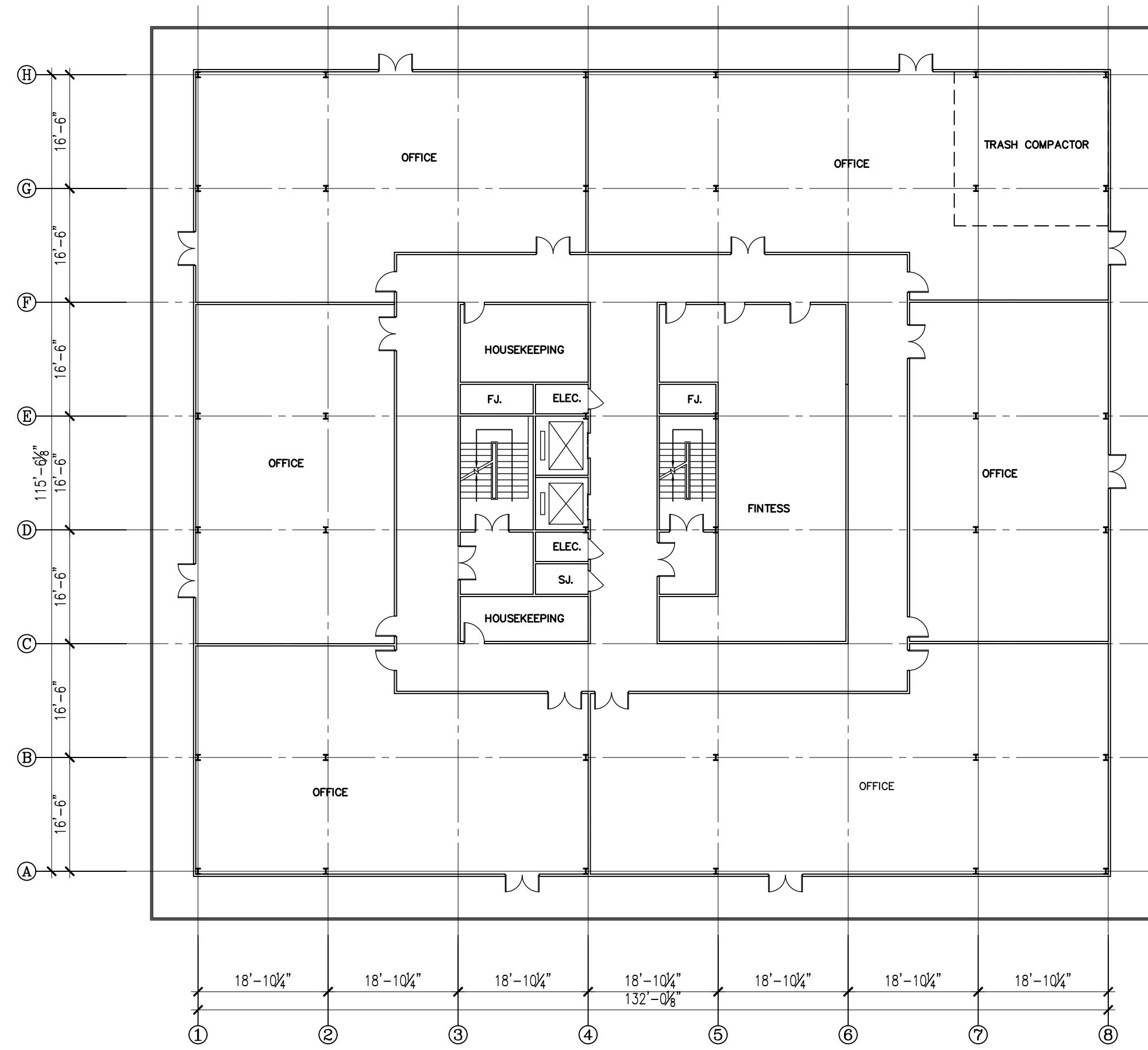
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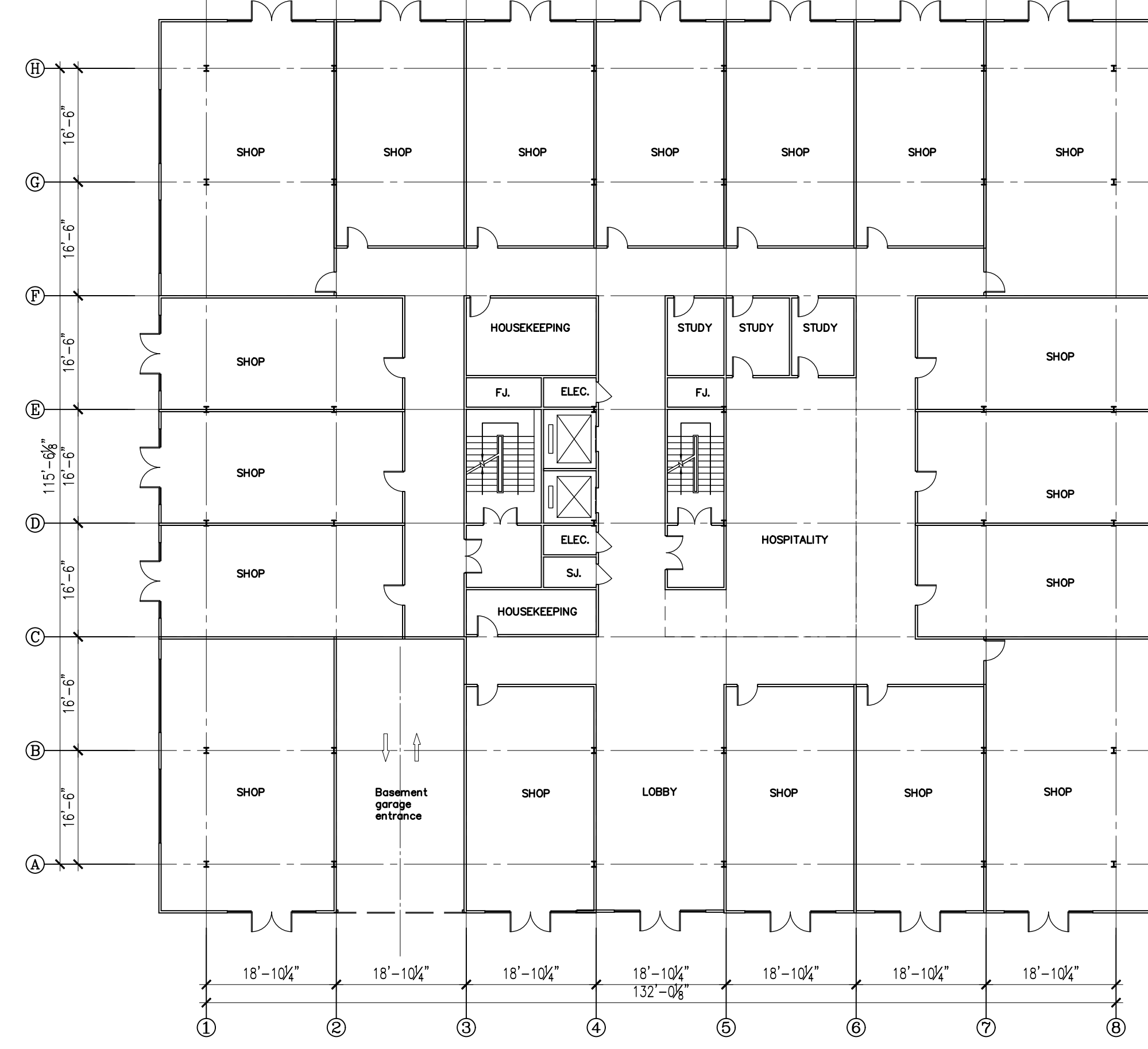
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NOT FOR REGULATORY APPROVAL, PERMITTING or CONSTRUCTION **PRELIM-LOCATIONMAP**





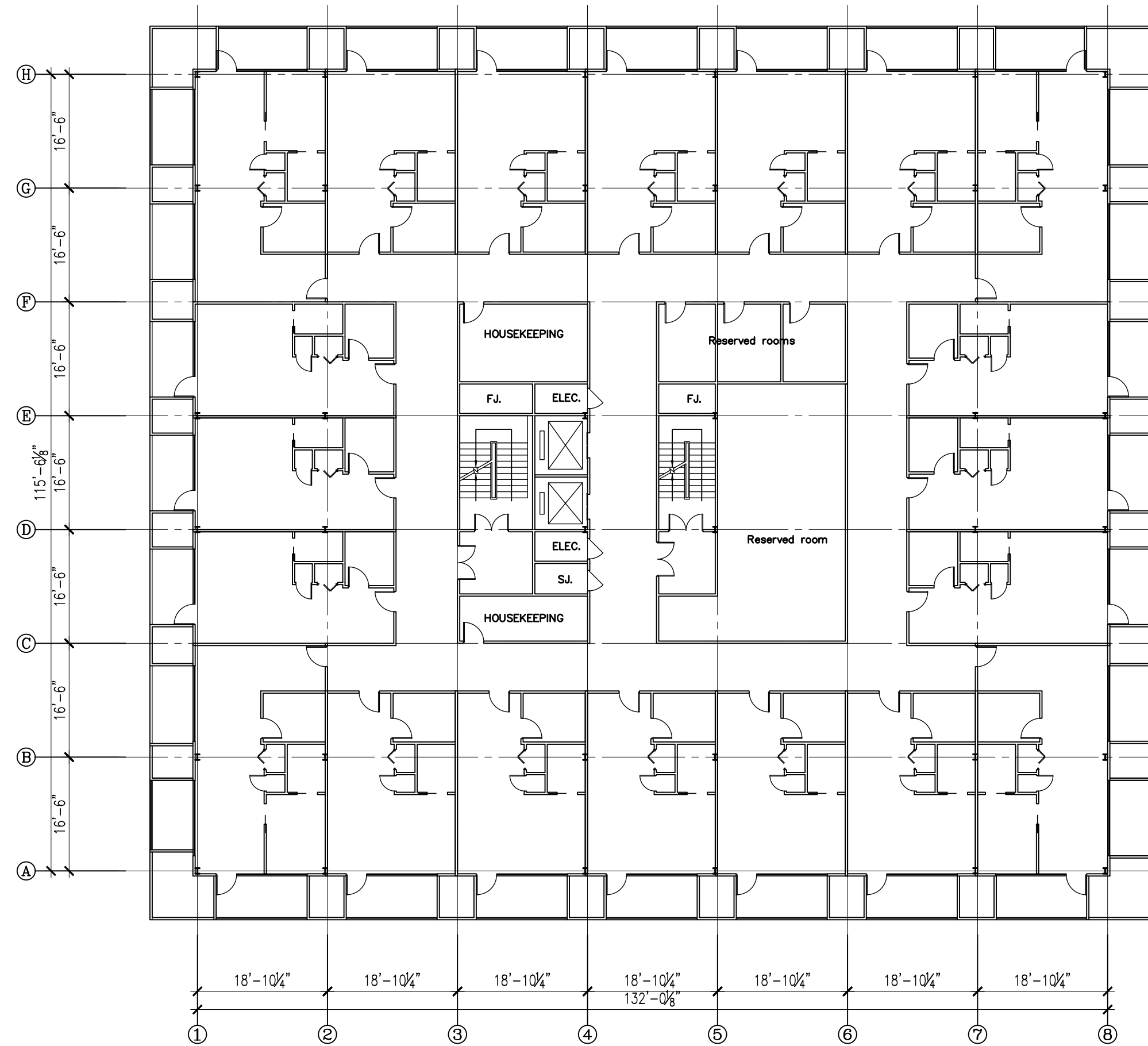
**proposed 7th office space floor plan**  
SCALE: 1/16"=1'-0"



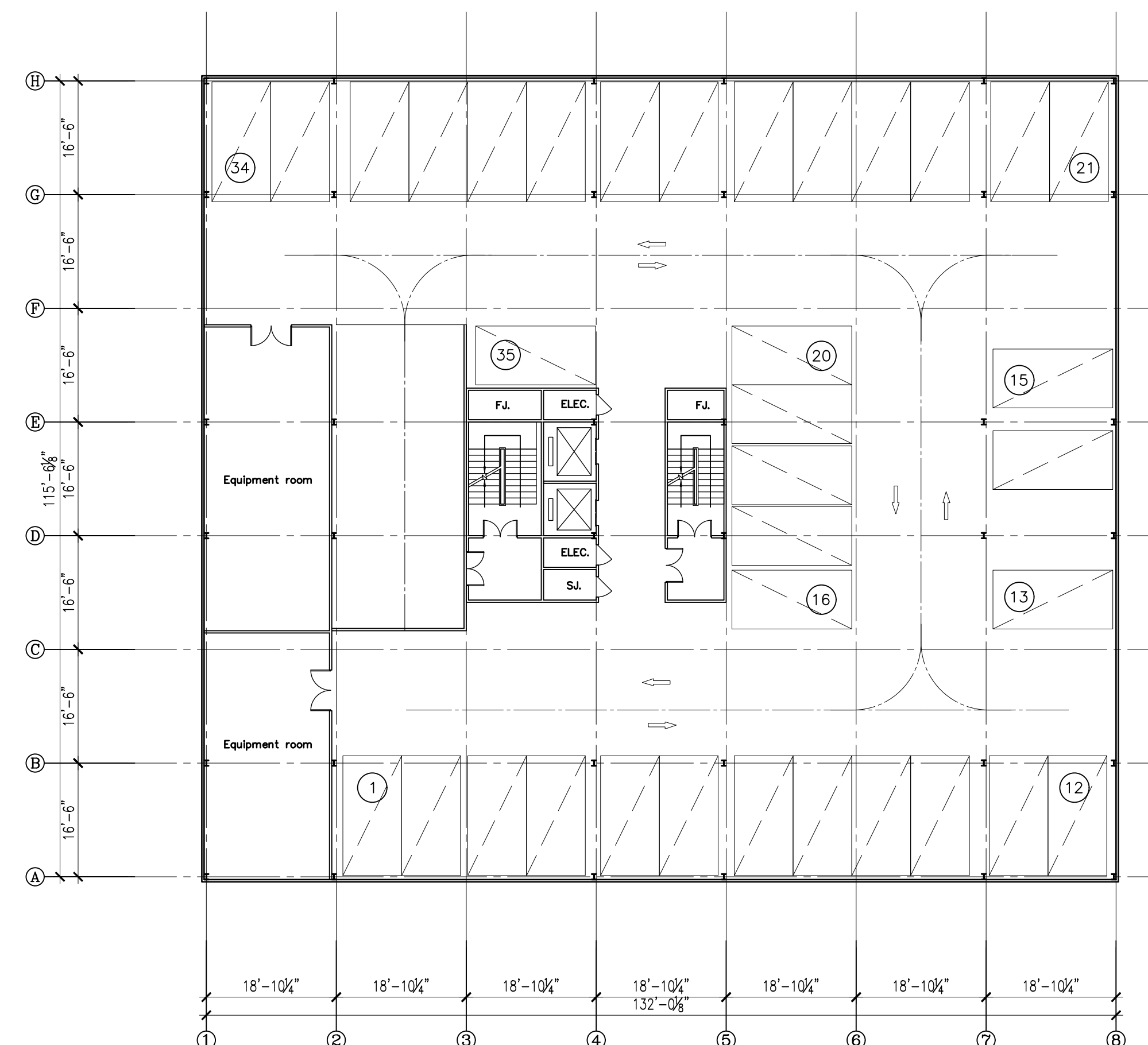
**proposed 1st retail space floor plan**  
SCALE: 1/16"=1'-0"

**AREA CALCULATIONS:**

AREA CALCULATIONS	
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PARKING GARAGE RAMP	810 SF
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**proposed 2nd - 6th supportive housing floor plan**  
SCALE: 1/16"=1'-0"

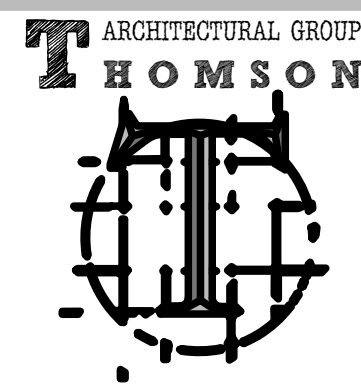


**proposed basement parking garage floor plan**  
SCALE: 1/16"=1'-0"

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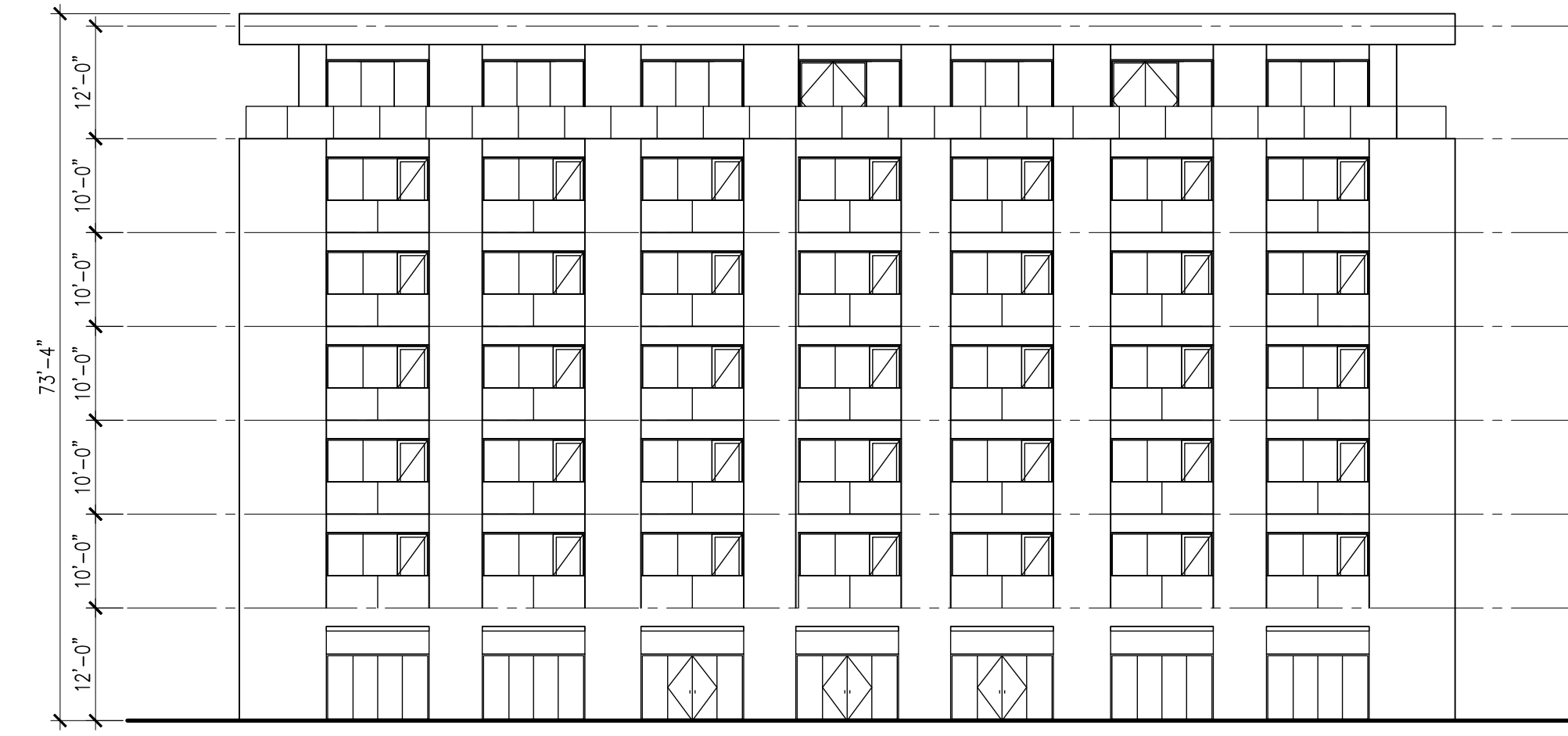
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NOT FOR REGULATORY APPROVAL, PERMITTING or CONSTRUCTION **PRELIM-FLOORPLANS**



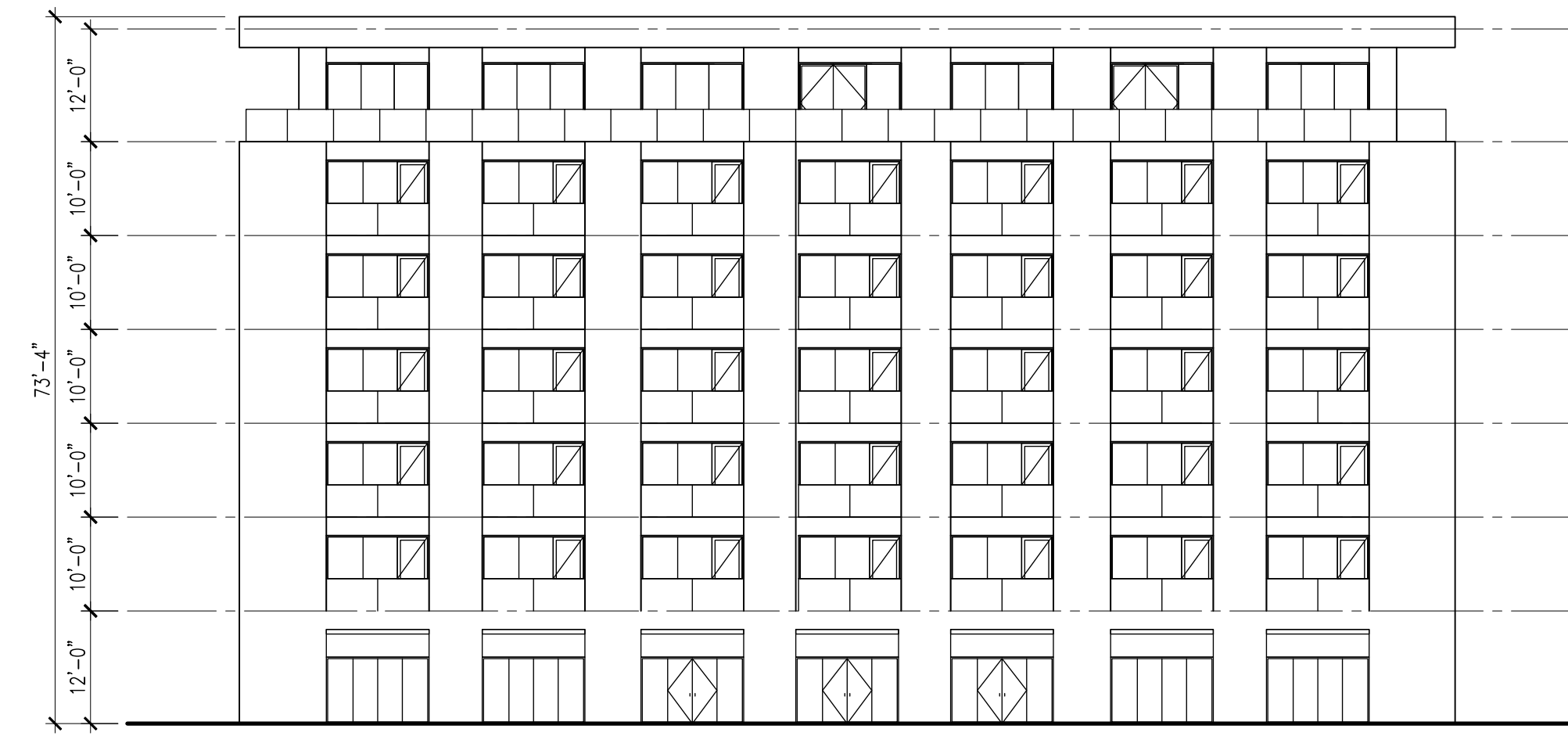
**proposed front (south - 20th street) wall elevation**  
SCALE: 1/16"=1'-0"



**proposed left (west - chester ave) wall elevation**  
SCALE: 1/16"=1'-0"



**proposed front (north - 20th place) wall elevation**  
SCALE: 1/16"=1'-0"



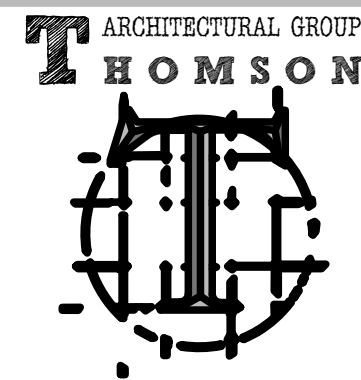
**proposed rear (west - alley) wall elevation**  
SCALE: 1/16"=1'-0"

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**PRELIM-ELEVATIONS**